

Scotty Hollow Lantern

ICE BACK UP

You can take some steps towards preventing ice build up on your roof's edge and water penetration into your home. Some precautions are:

- Extend the bathroom vent to your unit's exterior, allowing the warm moist air to leave your unit.
 - Add insulation to the crawl space including the access door to the crawl space, floor and walls.
 - Be sure the vents at the bottom of the floor (where the roof and floor meet, are open (not blocked with insulation).
 - Keep vents in ceiling of crawl space to cathedral ceiling open for circulation. The temperature inside your crawl space should be very close to the exterior temperature. The colder the crawl space is the better your chance of avoiding a back up and leak.
- Jim Toscano from Property Management of Andover would be very willing to stop by and explain the details of this work to you.



PARKING AT SCOTTY HOLLOW DRIVE

We have received complaints from residents regarding parking at the entrances of Scotty Hollow Drive. Please remember that it is against the law to park your vehicle within 20 feet of an intersection. Also, police will be checking for compliance, due to the complaints received. Alternate parking before the "A" circle mail box (as you drive towards Groton Road) is acceptable, never park on both sides of the roadway. Passing cars cannot see children between cars.



SMOKE ALARMS

Just a reminder to residents, that whenever an alarm is sounded, you must call the Fire Department immediately, 911. Our buildings fire alarm systems are not connected to the fire department.



WELLNESS FAIR

There will be a Wellness Fair, Saturday, April 9, 2011 from 9:00am - 12:00pm at the Chelmsford Senior Center.

There will be free activities for all ages:

- Acupuncture/Massage*
- Meditation/Reiki*
- Chiropractic/Podiatry*
- Fitness Awareness*
- WIC/Early Childhood*
- Memory Screening*
- CPR Anytime Demos*
- Zumba/Yoga*
- Tae Kwon Do*
- Skin Cancer Awareness*
- Breast Cancer Awareness*
- Smoking Cessation*
- Diabetes Education*
- Overall Health and Wellness*
- Substance Abuse Awareness*
- And much more!*



PROPOSED FIRE STATION

Chelmsford voters will be asked at the April 5 Annual Town Election to approve a Proposition 2½ debt exclusion to construct a new \$9.1M center fire station at the corner of Wilson Street and Chelmsford Street. If the project is approved, the excluded debt service portion of the property tax bill for the average single-family home assessed for \$325,000 is projected to increase by \$7 for the upcoming fiscal year. The excluded debt service would increase by \$13 for the following fiscal year, before declining thereafter.



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PET REGISTRATION

Pet ownership is a privilege that is given to homeowners via the condominium documents.

All pets (dogs and cats) must be pre-approved by the Board of Trustees prior to their living at Scotty Hollow. Cats are not permitted to roam freely within the community.

A picture of all pets must be submitted with your application form. If you currently have a pet and have not provided a picture, please do so.

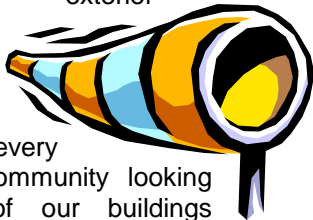


ALL DOG OWNERS MUST PICK UP AFTER THEIR DOG. The area surrounding the pool and Clubhouse is not an area where dogs may relieve themselves. The area around the old landfill and behind the pump station building is ideal for exercising your dog.

Failure to abide by the pet ownership rules, especially the roaming cat or dog and clean up rules, may result in the loss of pet privileges.

EXTERIOR DECORATIONS

Please remember: exterior decorations, including plaques, wind chimes, non U.S.A. flags, etc. are not permitted. We make every effort to keep our community looking clean. Appearance of our buildings leaves a big impression on visitors. Scotty Hollow receives numerous compliments on its appearance.



CLUBHOUSE RENTAL POLICY

The Clubhouse is available for residents to hold private functions. There are forms available at the management office to reserve the facility. An advance payment of \$225.00 is required at booking, of which \$100.00 is returned following the facility's "check up." Please note that it can take up to two to three weeks for your check to be returned. The net cost to residents reserving the Clubhouse is \$125.00 (if the facility is properly cleaned and damages and rule infractions have not occurred). Allow at least a two week notice period prior to the date of your scheduled event. This is a busy time for use of the clubhouse. Book early to hold your preferred date. **Please note: function attendees are not permitted to use the pool facilities during seasonal periods of time.**



LIGHTS OUT?

If you notice a lamppost light out on our property, please call the staff at Property Management of Andover (978-683-4101) or go to pmandover.com and create a work order request, to have the bulb changed. Please be descriptive as to the location.



VEHICLE FLUIDS

If you start to notice vehicle fluids in your parking area, please have your vehicle repaired. The cost to clean up the fluids is expensive.



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PMA WEBSITE

Property Management of Andover now has a website you can visit.

WWW.PMANDOVER.COM

If you need to pay your condo fee by credit card, you can do so from our website.

There is a fee for this process, but the fee is charged by the company processing your credit card, not Property Management of Andover.



SCOTTYHOLLOWCONDOS.COM

When you visit Scotty Hollow's web site (www.scottyhollowcondos.com), you will find a considerable amount of information to assist you in all areas of interest related to life at Scotty Hollow.

Feel free to visit www.scottyhollowcondos.com to acquire insurance certificates for your mortgage holder and all the information needed by a real estate agent for listing your home and a variety of forms for your use (Clubhouse forms, pet applications, vendor names and a list of approved replacement doors, windows, etc).

UPCOMING PROJECTS

The "C" Circle buildings will be painted this summer. The carpenter crew will be starting work in April. Additional information will be forthcoming as we approach the start date.



Wall replacement throughout Scotty Hollow is scheduled to continue this year. Walls that are in the most serious need of replacement will be our primary focus. Two walls, one in "A" circle and one in "E" circle will be the first wall and stairs replaced.

RUBBISH PICK UP

Rubbish must be left out in covered barrels. Barrels and recycling bins may not be left outdoors on any day other than collection day (Mondays – unless Monday is a holiday).

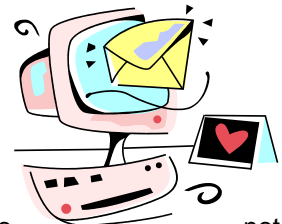
They must be stored indoors at all other times. Patios are not considered storage areas for these or any personal property (other than seasonal furniture).



Rubbish pick up does not include appliances, old rugs, water heaters or furniture. Paint, chemicals and car parts will not be picked up as well. Please contact the Town of Chelmsford Trash and Waste Office at 978-250-5203 for more information on disposal of these types of items. If you have a problem with the trash removal or recycling pick up, you should contact the Town of Chelmsford directly as this is a Town provided service.

E MAIL & VOICE COMMUNICATIONS

- Communication through your email service is available from Property Management of Andover. Newsletters, correspondence, financial letters and more are delivered via email. If you do not have an email address, traditional U.S. mail is used. This change saves Scotty Hollow residents mailing expenses.



- "Call blasting", a service that allows us to deliver mass verbal messages to residents for emergency or last minute notifications is also available. Attached is the email form with signature required. Please return it if you have not already done so.

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IMPORTANT DOOR AND WINDOW INFORMATION

If you are thinking about window or door replacements at your home, please make sure you review the following information prior to purchasing these items. Only approved styles, models, etc. may be installed. If you install a door or window brand that has not been previously approved by the Board of Trustees, you will be required to correct the situation and bring your unit's exterior into compliance. **Save yourself time and money by following these guidelines!**



Patio and Deck Door Slider

The replacements for your patio and deck door slider is the:

Frenchwood Gliding Patio Door manufactured by Anderson Door and Window. *If your unit has a beige trim, you must purchase the door with a **Sandstone** exterior. All other unit owners at Scotty Hollow must purchase the door with a **Terratone** exterior.*

John Cricones has assisted with documenting this information.

There are no other substitutes permitted.

Storm Door Replacements

If you are looking to install a new storm door, the door is called a:

- 1) One Touch Mid-View, Model 3825 manufactured by Pella. The color of the door must be brown and the hardware must be brass.

Skylights

Skylight windows have been failing. Leaks and stains appearing around and below the window are signs of failure. Residents must contact Property Management of Andover prior to ordering a replacement (Model is Vellux 606) to ensure conformity, the installer's qualifications and insurance policy correctness. Replacement roof shingles are available, only from Scotty Hollow.

Garage Door Replacements

The new garage door replacements are available through Pelham Building Supply. Paul, the contact person at Pelham Building Supply, may be reached at 603-635-7555.

Window Replacements

The approved replacement windows are manufactured by Harvey Industries. The product line is called "Majesty" window. Homeowners interested in replacing their windows may contact Property Management of Andover at 978-683-4101 or by E-Mail for additional details/literature.

These double pane windows eliminate the exterior storm windows, are designed for easy cleaning and will not need painting or glazing of individual panes. Multiple window panes will be replaced with one solid pane of glass with the pane dividers installed between the double panes of glass.

Window Repairs/Broken Seals

Do you have condensation between your "crank out" or patio door window panes? Is the seal on your windows broken? A few homeowners have recently utilized Moliterno Glass of Lowell (978-275-3835) to repair broken seals on their windows. They were pleased with the professionalism of the crew as well as the costs.